



Your Inspection Report

7225 Highview Rd
Port Hardy, BC V0N2P0

PREPARED FOR:
GLENN JOHNSON
DAVE MCCULLOUGH

INSPECTION DATE:
Monday, March 14, 2016

PREPARED BY:
Andrew Philliskirk ASCT, CHIP



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Note: For the purpose of this report the building is considered to be facing **North**.

Scope of Inspection:

I have performed an inspection of the Property in accordance with the attached Applied Science Technologists and Technicians of British Columbia Property Inspectors (ASTTBC PI) Standards of Inspection approved by the Applied Science Technologists and Technicians of British Columbia.

The Inspection was limited to a visual inspection performed by direct observation of existing conditions reasonably apparent at the time of inspection in accordance with the Standards of Inspection and Scope of Inspection.

The following is a summary of the "Report of the Inspection" which outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Roofing

General

- This modified bitumen roofing is most likely the second roof this building has had since it was built in the 1980's. It is nearing the end of its' useful life and should be replaced soon. Being subjected to many years of sunlight without a UV protective coating has cracked the membrane in several locations. There has been extensive patch work all over the roof. The flashings will need to be replaced when the roof is replaced as they are very rusted.

Exterior

General

- The exterior of the building hasn't been cleaned for a while. Because of the marine environment here in Port Hardy excessive organic growth has built up on the siding, decks and many other surfaces. Some of the building materials could deteriorate due to the trapped moisture. The building needs to be cleaned and exposed wood painted or sealed to protect it.

Structure

General

- The block walls have been subject to years of exposure to the weather. They have suffered from many wet-freeze cycles causing spalling. The deteriorated masonry poses a structural and possibly a safety hazard. It should be reviewed by a qualified stone mason to see if it is structurally sound. It may just need repointing, re-sealing (paint) and ensuring that adequate weep holes exist.

Some outer deck framing was spongy and may need replacing soon. The guard rail pickets should be checked out by a carpenter to ensure they are adequately attached.

Electrical

General

- During the inspection it was raining outside. The electrical room had a steady flow of water running underneath the main cabinets causing the the metal cabinets to rust along the bottom. The water flowed into the room adjacent where a sump pump was set up to extract the water.

The perimeter drainage beside these panels needs to be looked at to see what is wrong. A drainage company should be brought in to review the performance of the perimeter drainage and figure out where the water is coming from and how to stop it. They could send a video camera down the drainage lines to look for problems like blockages.

Once the water ingress has been stopped a certified electrical professional should be brought in to assess these cabinets for safety.

Plumbing

General

- This building has separate water heaters in each unit. There are too many installation errors and omissions regarding these water tanks to list separately. The amateurish work leads me to believe that the installations were performed by unqualified installers. There are many safety and flood hazards that need to be rectified as soon as possible. A qualified plumber should be brought in to review and bring each tank up to code. The higher than usual pressure should be reduced by installing a pressure regulator right after the main shutoff valve.

Interior

General

- Some of the windows showed signs of excessive condensation which appeared to be coming from the interior of the units. The cause is usually high humidity in the suites in conjunction with lack of heat and ventilation to the windows (ie. heavy curtains blocking air flow and preventing heat from reaching the glass). The moisture is causing condensation on the window frames which is running down and puddling on the window sills. The sills are starting to deteriorate and may need to be replaced. As this was only a visual inspection I could not tell if the wall framing below the sills were affected by the water. If a sill is getting replaced the studs should be checked while the framing is visible.

The window frames showed signs of organic matter building up and should be cleaned up with chlorine/bleach and water solution to prevent re-occurrence.

This concludes the Summary section.

The remainder of the report describes each of the building's systems and also details any recommendations I have for improvements. Limitations that restricted the inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

Description

Flat roofing material:

- [Modified bitumen](#)

The flat roof material appears to be a modified bitumen roll roofing.

Probability of leakage: • High

Recommendations

General

1. • This modified bitumen roofing is most likely the second roof this building has had since it was built in the 1980's. It is nearing the end of its' useful life and should be replaced soon. Being subjected to many years of sunlight without a UV protective coating has cracked the membrane in several locations. There has been extensive patch work all over the roof. The flashings will need to be replaced when the roof is replaced as they are very rusted.

FLAT ROOFING \ Modified bitumen

2. **Condition:** • [Near end of life expectancy](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

3. **Condition:** • [Cracked](#)

Implication(s): Chance of water damage to contents, finishes and/or structure



1. *Surface cracks, splitting*

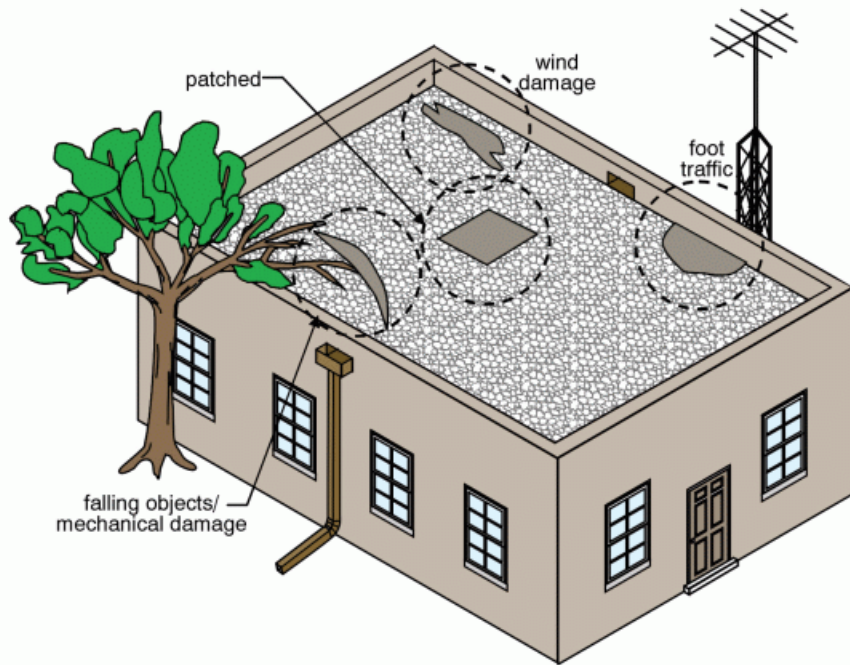


2. *Surface cracks, splitting*

4. **Condition:** • [Patched](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Damaged and patched flat roofs



3. Patched

5. Condition: • [No UV protection \(paint, granules, etc.\)](#)

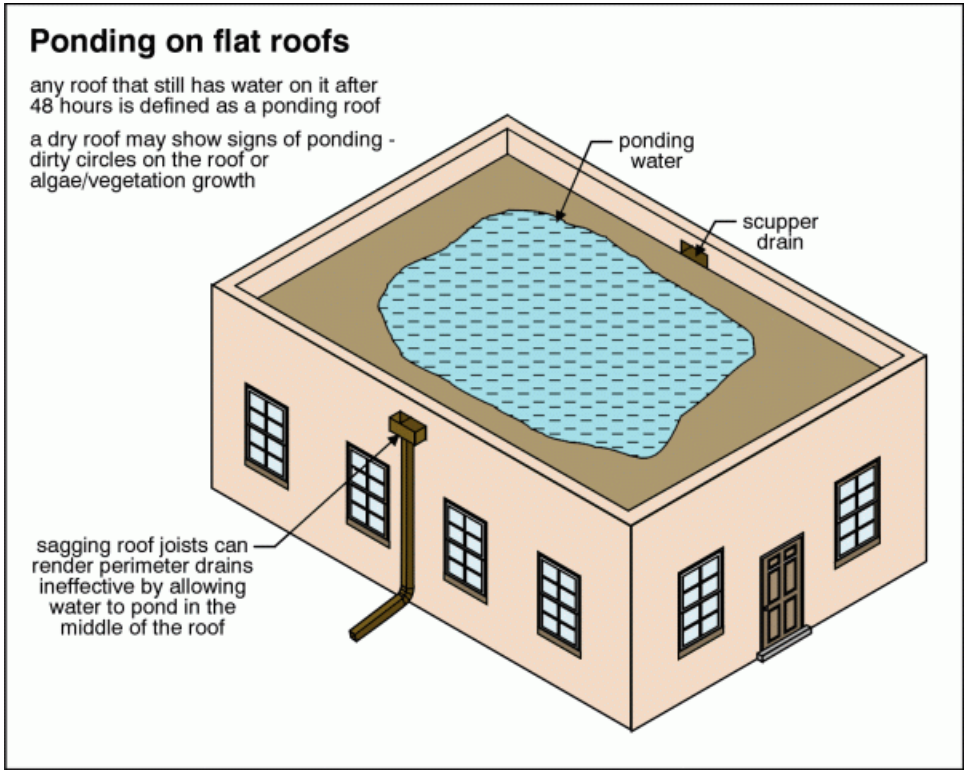
Implication(s): Chance of water damage to contents, finishes and/or structure



4. No UV Protection

6. Condition: • [Ponding](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Chance of movement



ROOFING

7225 Highview Rd, Port Hardy, BC March 14, 2016

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

PLUMBING

INTERIOR

REFERENCE



6. Ponding

5. Ponding

FLAT ROOF FLASHINGS \ Wear or damage

7. Condition: • [Rust](#)

Implication(s): Chance of water damage to contents, finishes and/or structure



7. Rust



8. Rust

Description

Gutter & downspout material:

- [Aluminum](#)



9. Aluminum

- [Plastic](#)



10. Plastic

Gutter & downspout type: • [Integral/built-in](#)

Gutter & downspout discharge:

- [Below grade](#)



11. *Below grade*



12. *Below grade*

Lot slope:

- [Away from building](#)



13. *Away from building*

- [Towards building](#)

EXTERIOR

7225 Highview Rd, Port Hardy, BC March 14, 2016

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

PLUMBING

INTERIOR

REFERENCE



14. Towards building

Wall surfaces - masonry:

- [Block](#)



15. Block

Wall surfaces and trim:

- [Metal siding](#)

EXTERIOR

7225 Highview Rd, Port Hardy, BC March 14, 2016

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

PLUMBING

INTERIOR

REFERENCE



16. Metal siding

Driveway:

- Asphalt



17. Asphalt

Walkway:

- Concrete

EXTERIOR

7225 Highview Rd, Port Hardy, BC March 14, 2016

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

PLUMBING

INTERIOR

REFERENCE



18. Concrete

Exterior steps: • Concrete

Balcony:

• Wood



19. Wood

Patio: • Concrete

Fence: • Wood

Recommendations

General

8. • The exterior of the building hasn't been cleaned for a while. Because of the marine environment here in Port Hardy excessive organic growth has built up on the siding, decks and many other surfaces. Some of the building materials could deteriorate due to the trapped moisture. The building needs to be cleaned and exposed wood painted or sealed to protect it.

WALLS \ Metal siding

9. Condition: • [Discolored](#)

Implication(s): Cosmetic defects



20. Discolored



21. Metal siding



22. Discolored

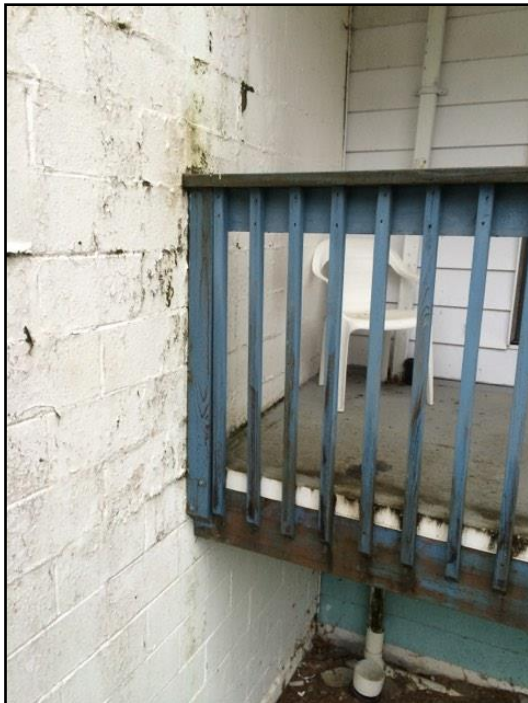


23. Discolored

WALLS \ Brick, stone and concrete

10. Condition: • [Masonry deterioration](#)

Implication(s): Weakened structure | Chance of structural movement



24. Missing, ineffective weep holes or flashings



25. Masonry deterioration

EXTERIOR GLASS \ Glass (glazing)

11. Condition: • [Excess condensation](#)

Implication(s): Chance of damage to finishes and structure

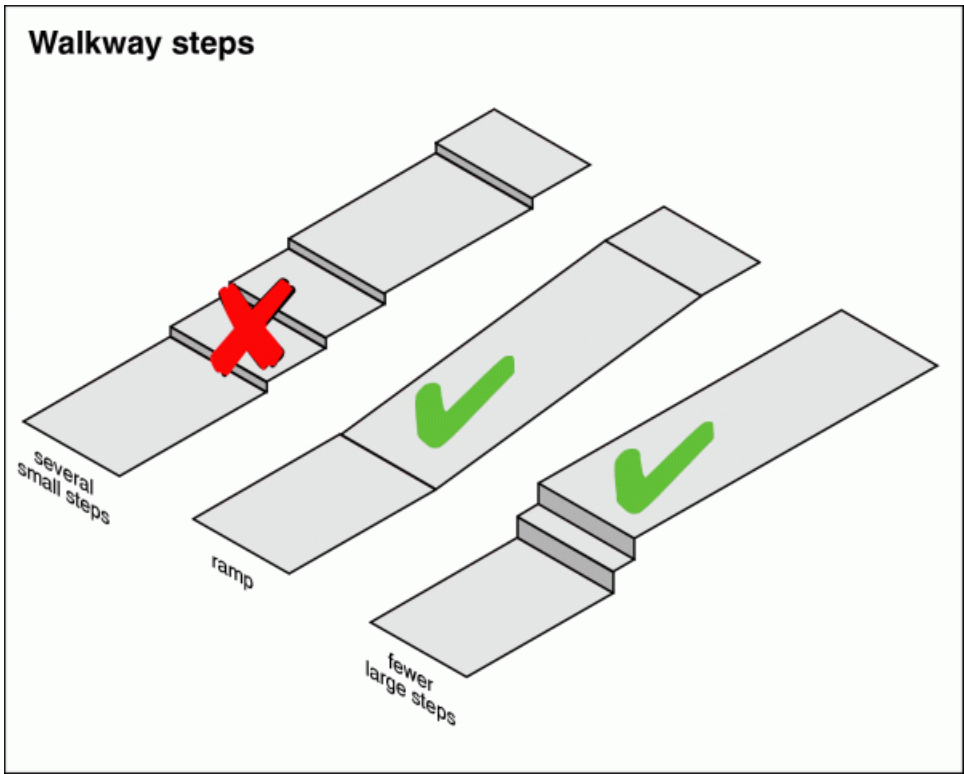


26. Excess condensation

LANDSCAPING \ Walkway

12. Condition: • [Uneven \(trip hazard\)](#)

Implication(s): Physical injury

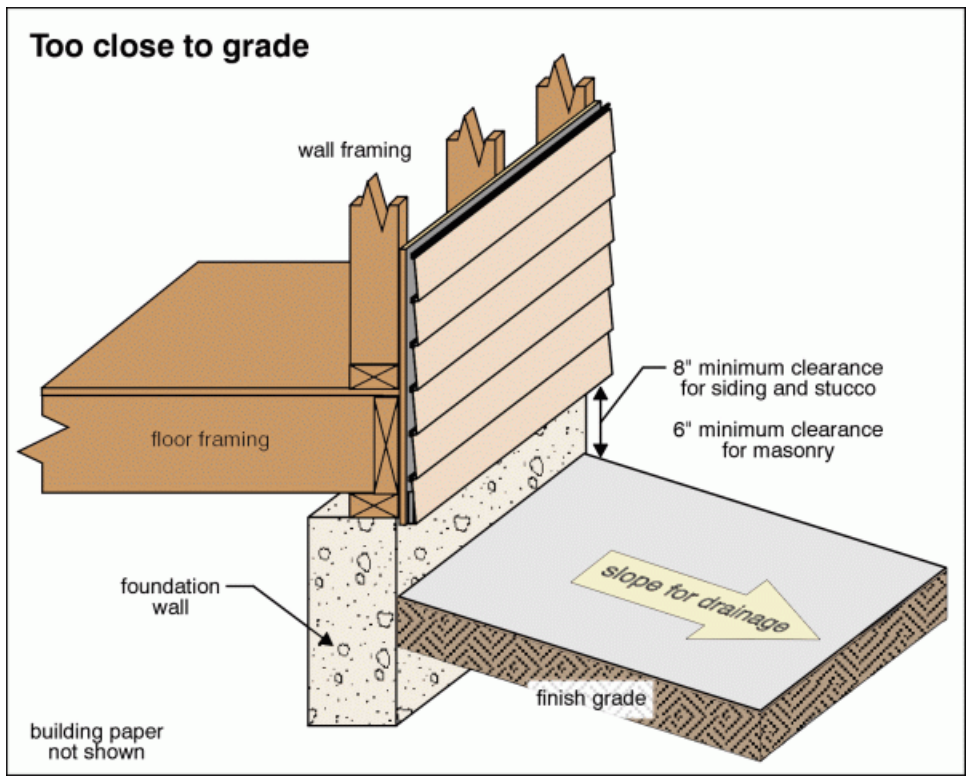


27. Uneven (trip hazard)

LANDSCAPING \ General

13. Condition: • [Siding too close to grade](#)

Implication(s): Chance of water entering building | Weakened structure | Rot | Insect damage



28. Siding too close to grade

Description

Configuration: • [Slab-on-grade](#)

Foundation material: • [Poured concrete](#)

Floor construction: • [Joists](#)

Exterior wall construction: • [Wood frame](#) • [Masonry](#)

Roof and ceiling framing: • Not visible

Party walls: • [Masonry](#)

Recommendations

General

14. • The block walls have been subject to years of exposure to the weather. They have suffered from many wet-freeze cycles causing spalling. The deteriorated masonry poses a structural and possibly a safety hazard. It should be reviewed by a qualified stone mason to see if it is structurally sound. It may just need repointing, re-sealing (paint) and ensuring that adequate weep holes exist.

Some outer deck framing was spongy and may need replacing soon. The guard rail pickets should be checked out by a carpenter to ensure they are adequately attached.

WALLS \ Solid masonry walls

15. **Condition:** • [Masonry deteriorating](#)

Implication(s): Weakened structure | Chance of structural movement



29. *Masonry deterioration*

16. **Condition:** • [Efflorescence](#)

Implication(s): Cosmetic defects | Weakened structure

17. Condition: • [Mortar deteriorating](#)

Implication(s): Weakened structure | Chance of structural movement



30. *Masonry deterioration*

Description

Service entrance cable and location: • [Underground copper](#)

Service size: • [400 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • [400 Amps](#)

Main disconnect/service box type and location: • [Breakers - utility room](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom](#)

Recommendations

General

18. • During the inspection it was raining outside. The electrical room had a steady flow of water running underneath the main cabinets causing the the metal cabinets to rust along the bottom. The water flowed into the room adjacent where a sump pump was set up to extract the water.

The perimeter drainage beside these panels needs to be looked at to see what is wrong. A drainage company should be brought in to review the performance of the perimeter drainage and figure out where the water is coming from and how to stop it. They could send a video camera down the drainage lines to look for problems like blockages.

Once the water ingress has been stopped a certified electrical professional should be brought in to assess these cabinets for safety.



31.



32.

DISTRIBUTION SYSTEM \ Wiring - damaged or exposed

19. Condition: • [Exposed on walls or ceilings](#)

Implication(s): Electric shock

ELECTRICAL

7225 Highview Rd, Port Hardy, BC March 14, 2016

Report No. 1013, v.5

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

PLUMBING

INTERIOR

REFERENCE



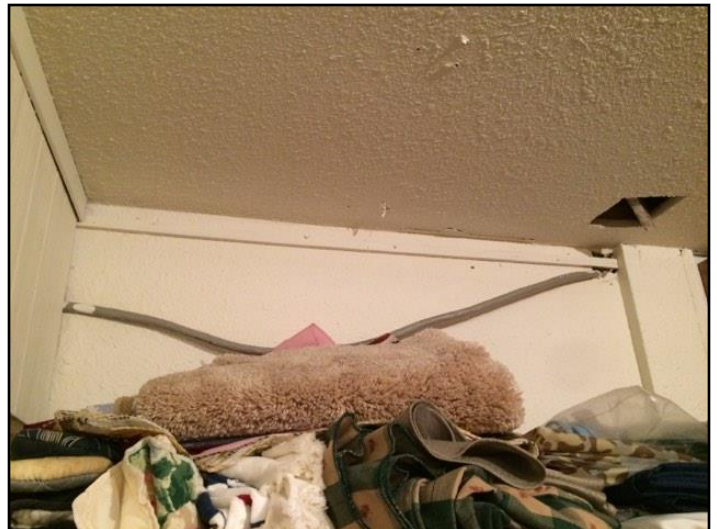
33. Exposed on walls or ceilings



34. Exposed on walls or ceilings



35. Exposed on walls or ceilings



36. Exposed on walls or ceilings

Description

General: • Each unit has individual baseboard heaters with zone controls. They seem to be performing as they should.

Fuel/energy source:

- [Electricity](#)

Baseboards in each unit.

System type: • Electric baseboard heaters

Approximate age: • [36 years](#)

Description

Water supply source:

- Public



37. Public

Service piping into building: • [Copper](#)

Supply piping in building: • [Copper](#)

Main water shut off valve at the: • Utility room

Water flow and pressure: • [Above average](#)

Water heater fuel/energy source:

- [Electric](#)

In each unit -

Recommendations

General

20. • This building has separate water heaters in each unit. There are too many installation errors and omissions regarding these water tanks to list separately. The amateurish work leads me to believe that the installations were performed by unqualified installers. There are many safety and flood hazards that need to be rectified as soon as possible. A qualified plumber should be brought in to review and bring each tank up to code. The higher than usual pressure should be reduced by installing a pressure regulator right after the main shutoff valve.

SUPPLY PLUMBING \ Pressure regulator

21. **Condition:** • Required due to high supply water pressure

There is no visible pressure regulator in the utility room. The water pressure was over 100psi and should be reduced to prevent possible leaks.

Implication(s): Chance of damage to contents, finishes and/or structure | Damage to equipment

Task: Improve



38. Typical for neighborhood



39. Required due to high supply water pressure

22. Condition: • Static water pressure should not exceed 80 psi

Implication(s): Chance of water damage to contents, finishes and/or structure | Damage to equipment

WATER HEATER \ Tank

23. Condition: • [Wobbly or not stable](#)

This tank in the laundry room needs to be seismically restrained.

Implication(s): Damage to equipment | No hot water



40. *Wobbly or not stable*

24. **Condition:** • Safety pan and drain defect

Implication(s): Chance of water damage to contents, finishes and/or structure | Damage to equipment

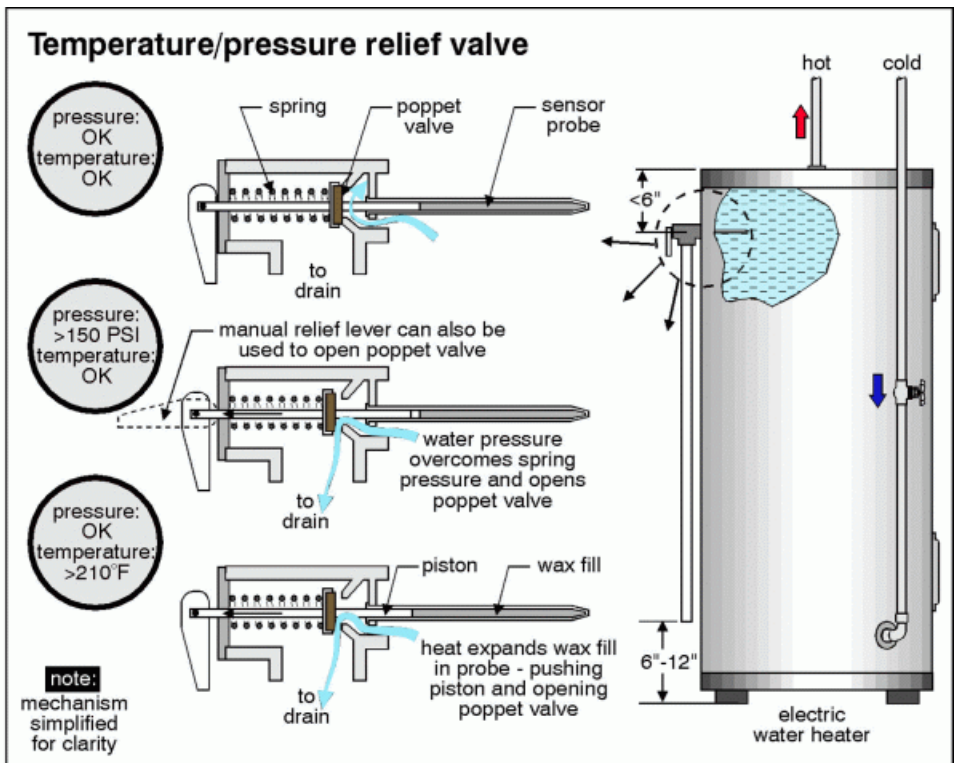
WATER HEATER \ Temperature/pressure relief valve

25. **Condition:** • Water Heater missing vacume relief valve.

Implication(s): The tank may be crushed from vacuum if Water Main is shut off and a valve opened.

26. **Condition:** • [Discharge tube too short](#)

Implication(s): Scalding



41. Discharge tube too short

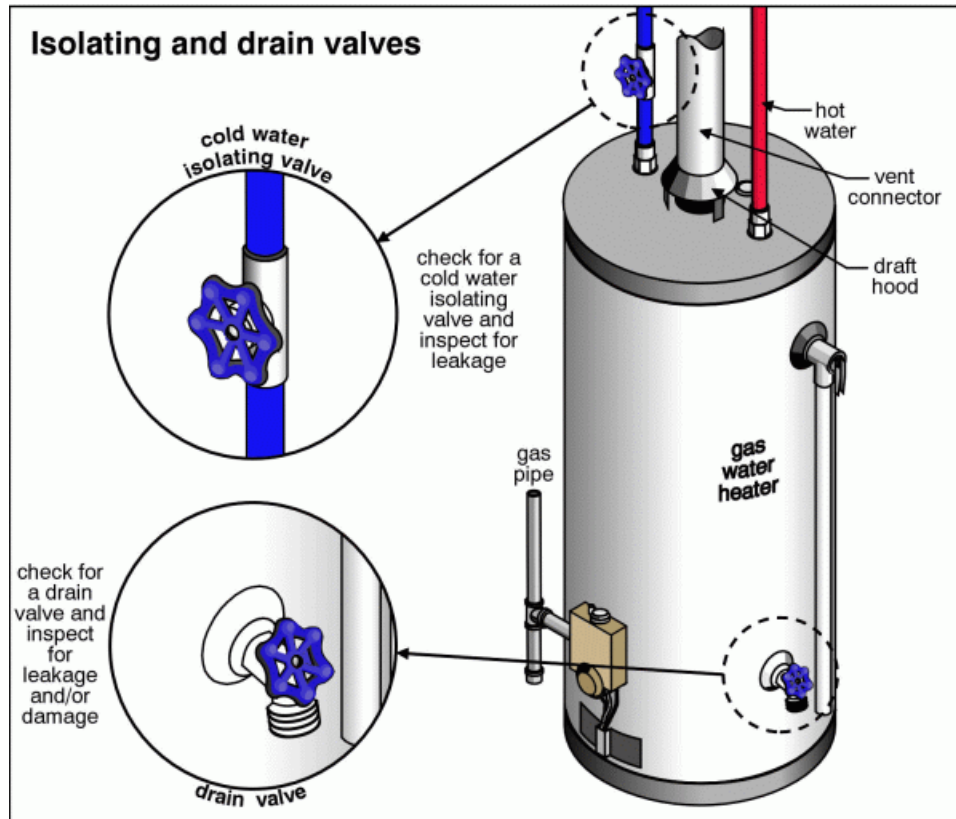
27. Condition: • [Missing temperature protection](#)

Implication(s): Steam explosion

WATER HEATER \ Isolating valve/Cold water shut-off valve

28. Condition: • [Missing](#)

Implication(s): Increased maintenance costs



FIXTURES AND FAUCETS \ Hose bib or bibb

29. Condition: • [Leak or drip](#)

Implication(s): Chance of water damage to contents, finishes and/or structure



42. Leak or drip

Recommendations

General

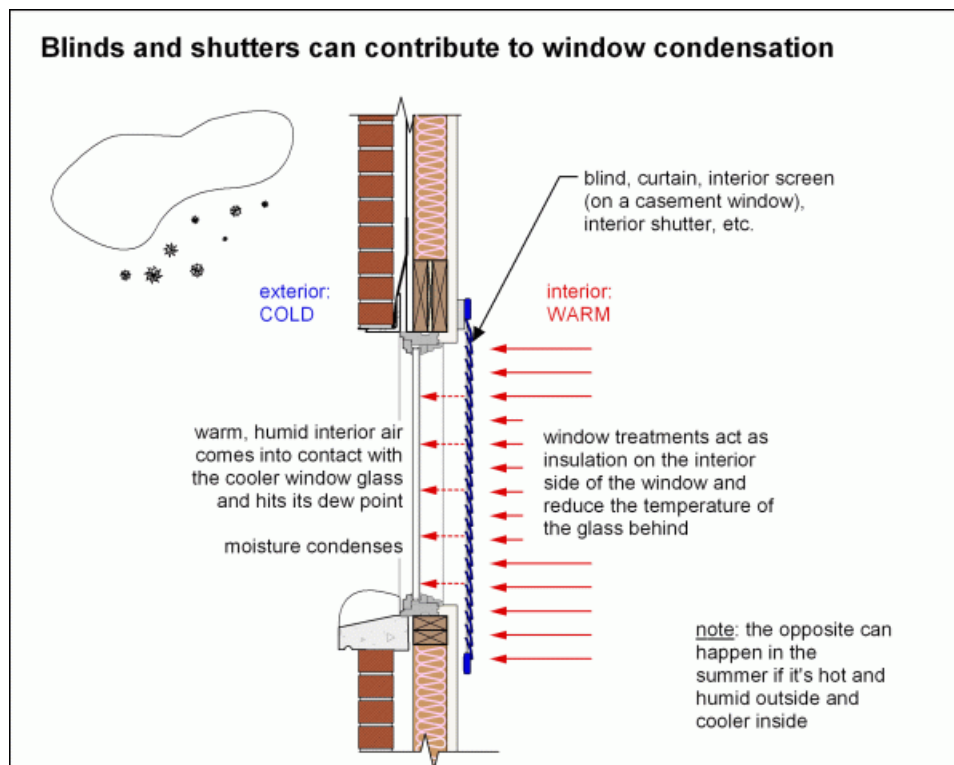
30. • Some of the windows showed signs of excessive condensation which appeared to be coming from the interior of the units. The cause is usually high humidity in the suites in conjunction with lack of heat and ventilation to the windows (ie. heavy curtains blocking air flow and preventing heat from reaching the glass). The moisture is causing condensation on the window frames which is running down and puddling on the window sills. The sills are starting to deteriorate and may need to be replaced. As this was only a visual inspection I could not tell if the wall framing below the sills were affected by the water. If a sill is getting replaced the studs should be checked while the framing is visible.

The window frames showed signs of organic matter building up and should be cleaned up with chlorine/bleach and water solution to prevent re-occurrence.

WINDOWS \ Glass (glazing)

31. Condition: • [Excess condensation](#)

Implication(s): Chance of condensation damage to finishes and/or structure





43. Excess condensation

APPLIANCES \ Washing machine

32. Condition: • Inoperative

Two machines out of service.

Implication(s): Equipment inoperative



44. Inoperative

APPLIANCES \ Dryer

33. Condition: • Dryer vent material not smooth wall

Implication(s): Equipment ineffective | Fire hazard



45. Dryer vent material not smooth wall

34. Condition: • Screen on vent termination
Dryer vents stuck open. Entry point for vermin.

Implication(s): Equipment ineffective | Fire hazard



46. Screen on vent termination

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS



HOME INSPECTION CONTRACT

CLIENT: _____ (THE "CLIENT")

ADDRESS: _____

CLIENT: _____

ADDRESS: _____

BENEFICIARY: _____

ADDRESS: _____

INSPECTOR:

INSPECTOR _____ LICENSE # _____ ASTTBC PI NO. _____

DOING BUSINESS AS: _____

Property: _____

ADDRESS OF PROPERTY TO BE INSPECTED

DATE OF INSPECTION _____ TIME _____

Fees:

BASIC FEE:	\$ _____
MISC. FEE:	\$ _____
GST #: _____	\$ _____
PST #: _____	\$ _____
TOTAL:	\$ _____

This Agreement, made and entered into on this _____ day of _____, 20____ in _____, B.C. by the above named Clients for the purpose of a pre purchase inspection. The report format will consist of a full narrative with photographs.

This Agreement contains terms which limit the liability of the Inspector. Please read carefully before executing this Agreement.

In executing this Agreement, you, the Client, acknowledge that you have had adequate time to read the Agreement in its entirety and, should you choose to do so, to obtain independent legal advice before executing this Agreement in the space immediately below and returning this Agreement to the Inspector.

CLIENT (please print)

CLIENT (please print)

BENEFICIARY (please print)

CLIENT (signature)

CLIENT (signature)

INSPECTOR (signature)



TERMS AND CONDITIONS GOVERNING THIS AGREEMENT

1. Scope of Services

- 1.1 The Inspector will perform an inspection of the Property in accordance with the attached Applied Science Technologists and Technicians of British Columbia Property Inspectors (ASTTBC PI) Standards of Inspection approved by the Applied Science Technologists and Technicians of British Columbia (the 'Inspection'). ASTTBC PI is established under the provisions of the Applied Science Technologists and Technicians (ASTT) Act, to represent the professionally Certified House and Property Inspectors in British Columbia.
- 1.2 The Inspection shall be limited to a visual inspection performed by direct observation of existing conditions reasonably apparent at the time of inspection in accordance with the Standards of Inspection and Scope of Inspection.
- 1.3 Following the Inspection, the Inspector will provide the Client with a Report of the Inspection (the 'Report').

2. Limitation of Liability

This section contains the limitations upon any liability that may be imposed in law upon the Inspector arising from the professional services provided to you by that Inspector. Please read carefully.

- 2.1 Any and all actions, causes of action, contracts, demands or claims, whether in contract, negligence, or otherwise known to law, which you may have arising out of services provided to you by the Inspector, hereinafter referred to as a "Claims" or "Claim", shall be regarded as a single claim subject to the further limitations of liability set out below.
- 2.2 The liability of the Inspector, whether in contract, tort (including negligence) or other cause of action known to law shall be limited to the lesser amount of \$50,000 or the amount of our professional liability insurance in effect as at the date of the Claim being made known to us and only to the extent that such insurance is available to satisfy the Claim. *If this limit of liability is insufficient for your purposes, the Inspector would be pleased to discuss with you a different limit which, if greater than \$50,000, may result in our charging a higher fee.*
- 2.3 If the Inspector is incorporated, you expressly agree that you will not bring any proceedings in any arbitration or court of any jurisdiction advancing any Claim against our professional staff and employees.
- 2.4 You expressly agree that any liability the Inspector may have to you shall not be joint and several with any other person, but shall be several only, and limited to the percentage or degree of the Inspector's fault in proportion to the fault or wrongdoing of all persons who contributed to the loss arising from the Claim.

Initials



2.5 The Inspector's liability for all Claims you may have or bring in connection with the professional services rendered or arising out of or ancillary to this Agreement shall absolutely cease to exist after a period of two (2) years from the date of:

- a) Performance of the Inspection;
- b) Delivery to you of our Inspector's Report;
- c) Suspension or abandonment of this Agreement; or
- d) Termination of the Inspector's services pursuant to this Agreement,

whichever shall occur first, regardless of whether you were aware of the potential for making a Claim against the Inspector within that period. Following the expiration of the aforesaid period, you agree that you shall make no Claim against the Inspector, the Inspector shall have no liability to you, and you shall not bring any proceedings of any kind known to law against the Inspector.

2.6 The intellectual material amassed from the Inspections is the property of the Inspector. The Report shall be prepared for the Client's information only and may not be used or relied upon by any other person unless that person is specifically named in this Agreement as a beneficiary of the Report, in which case the Report may also be used by the additional beneficiary named. The Client agrees to maintain the confidentiality of the Report and reasonably protect the Report from distribution to any other person. If the Client directly or indirectly causes the Report to be distributed to any other person, the Client shall indemnify, defend, and hold the Inspector harmless against the claim of any third party.

3. **No Warranty**

3.1 The Inspection does not constitute a warranty, an insurance policy or a guarantee of any kind.

4. **Dispute Resolution**

4.1 In the event of any Claim arising under this Agreement, the Client shall immediately give notice in writing to the Inspector of all particulars of the Claim and shall give the Inspector all reasonable opportunity to inspect the Property and, where appropriate, resolve the matters in dispute.

4.2 The Client acknowledges that any failure on the Client's part to give timely notice of all particulars of the Claim will deprive the Inspector of the opportunity to reasonably investigate and, where appropriate, resolve the Claim. In the event that the Inspector is prejudiced by the Client's failure to give notice of the Claim in accordance with Section 4.1 of this Agreement, then the Client expressly waives any right to recover from the Inspector any losses arising from the Claim.

4.3 Any dispute between the Inspector and the Client, except those for non-payment of fees, that in any way, directly or indirectly, arise out of, or relate to this Agreement or to the interpretation of this Agreement, the scope of the services provided to the Client, the Report or any other matter involving the services performed by the Inspector, shall, upon either party's election, be resolved in accordance with the British Columbia Commercial Arbitration Act (the 'Act'), by a single arbitrator appointed in accordance with the Act.

Initials



5. **Other Provisions**

- 5.1 Payment in full is due upon the completion of the Inspection and prior to delivery of the Report.
- 5.2 The validity or unenforceability of any provision in this Agreement shall not affect or impair the validity or enforceability of any other provision. The remainder of this Agreement shall remain in full force and effect.
- 5.3 This Agreement contains the entire agreement between the parties, and shall be binding upon and enforceable by the parties, their heirs, executors, administrators, successors and assigns.
- 5.4 The Client agrees to obtain permission from the seller permitting deactivation of the distribution portion of the electrical panel so that the cover may be safely removed by the Inspector to inspect the interior.
- 5.5 The Client shall ensure the Inspector has access to the property; that a designated party provides security for the property during the inspection process and that someone responsible for the property will ensure that the property is secured upon the Inspector's departure.
- 5.6 This Agreement shall be construed in accordance with, and governed by, the laws of British Columbia.
- 5.7 Where required, the singular shall be read in the plural, and the gender the masculine or feminine.
- 5.8 Time shall be of the essence of this Agreement, save as otherwise specified in this Agreement.

Initials



ASTTBC PI STANDARDS OF INSPECTION

Part 1: Glossary (*CONTAINS ITALICIZED WORDS IN THIS DOCUMENT*)

- ASTTBC & ASTTBC PI:** ASTTBC - The Applied Science Technologists and Technicians of British Columbia (see <http://www.asttbc.com/> for more information). ASTTBC is the certifying body for the members of ASTTBC PI. Applied Science Technologists and Technicians of British Columbia Property Inspectors (see www.asttbcpi.org for more information).
- COMMON AREA(S):** In condominium and some cooperative housing projects, the areas not owned by an individual owner of the condominium or cooperative residence, but shared by all owners, either by percentage interest or owned by the management organization. Common areas may include recreation facilities, outdoor space, parking, landscaping, fences, laundry rooms and all other jointly used space. Management is by a homeowners' association or cooperative board, which collects assessments from the owners and pays for upkeep, some insurance, maintenance and reserves for replacement of improvements in the common areas.
- DIRECT OBSERVATION:** Observation within arm's length.
- INSPECTED UNIT:** (Relating to Multi-Family Dwellings) - Individual suite, apartment, or unit being inspected. Does not include any common area(s).
- INSPECTOR:** Members of ASTTBC PI having the appropriate technical training, experience, knowledge, and qualifications and who have been certified by ASTTBC with the designations of Certified House Inspector (CHI) or Certified Property Inspector (CPI).
- MULTI-FAMILY DWELLING:** Building or group of buildings on a single lot arranged or designed for occupancy by two or more families, with separate housekeeping and cooking facilities for each and where the individual family units have unique legal addresses. A house with a legal suite is **NOT** considered a Multi-Family Dwelling. The Multi-Family Dwelling usually refers to a condominium but can also refer to buildings under the control of a Housing Cooperative, Single Owner Rental Apartment Complexes, etc.
- QUALIFIED TRADES PERSON:** A certified and licensed professional in their field (Plumbers, Carpenters, Electricians, etc.).
- REGISTERED PROFESSIONAL:** Individuals who are registered members of the Professional Engineers and Geoscientists of BC (APEGBC) or the Architectural Institute of BC (MAIBC) or Applied Science Technologist – AScT (ASTTBC) or Certified Technician – CTech (ASTTBC).
- SPECIALIST:** Individuals having the appropriate technical training, experience, knowledge, and qualifications for obtaining a provincial license or trade qualification or; a **REGISTERED PROFESSIONAL practicing within their area of specialization.**
- VISUAL INSPECTION:** Observation without the use of any specialized tools or equipment.
- Readily accessible:** In the sole determination of the inspector, visually observable and able to be examined without requiring destructive measures; without risk to the inspector or others; without risk of damage to any item of personal or real property; without requiring the inspector to move, remove, damage, or disturb any wall, floor, ceiling, or window coverings; or any interior or exterior claddings or finish treatments; to move, remove, damage, disturb, climb upon, climb over, or straddle any item of personal property; to move, remove, damage, or disturb any landscape elements; or to interrupt the business of occupants, and not requiring disassembly or the use of any special protective clothing or special tools or equipment"

Initials



Part 2: Limitations of the Inspection

1. The Inspection is a *VISUAL INSPECTION* performed by *DIRECT OBSERVATION* of existing conditions at the time of inspection and shall be conducted by a *CERTIFIED HOUSE INSPECTOR PROVISIONAL (CHI-P)*; *CERTIFIED HOUSE INSPECTOR (CHI)* or *CERTIFIED PROPERTY INSPECTOR (CPI)* (identified as the *INSPECTOR* in the rest of this document) acting in accordance to this *ASTTBC PI Standards of Inspection* approved by *ASTTBC*.
2. The Inspectors with *CHI-P* and *CHI* designations are limited to the inspection of single-family dwellings, duplexes, individual townhouse units, single units in apartment buildings and multi-family complexes up to a four units which shall commensurate with their level of certification, qualification, experience and knowledge. Inspectors with a *CPI* designation can inspect all residential properties as well as commercial, industrial or investment real estate property.
3. The Inspection is of a general nature and not that of a *SPECIALIST*. A *SPECIALIST* serves to provide additional analysis and opinion of adverse conditions or defects identified, beyond the scope of the inspection. **CLIENTS SHOULD BE AWARE OF THE LIMITATIONS OF THIS INSPECTION AND ARE ENCOURAGED TO CAREFULLY CONSIDER ANY RECOMMENDATIONS FOR FURTHER INVESTIGATION, READ AND UNDERSTAND ALL PERTINENT STRATA REPORTS, DOCUMENTS, MINUTES, AND RECORDS, AND SEEK ANY FURTHER INVESTIGATION OR CLARIFICATION PRIOR TO PURCHASE.**
4. The *INSPECTOR* shall **NOT** offer warranties or guarantees of any kind for any building system or component.
5. The *ASTTBC PI Standards of Inspection* does **NOT** cover or require the *INSPECTOR* to identify or report on the presence of asbestos, radon gas, lead paint, urea formaldehyde, toxic or flammable chemicals, and/or soil contamination.
6. The *INSPECTOR* is **NOT** required to perform any calculations or analyze any part of the building or components relating to design, engineering or architectural concepts, including, but not limited to the strength and adequacy, methods, materials, the efficiency of any system or component or compliance with any regulatory requirements, laws or bylaws.
7. The *INSPECTOR* is **NOT** required to locate, confirm, verify, or comment on property lines, borders and markers or any easements, right of ways, restrictions which may or may not exist against the subject property, buildings, dwelling or dwelling unit.
8. The *INSPECTOR* shall **NOT** comment on life expectancy, but may however offer an opinion based on the typical life cycle of a system or component.
9. The *INSPECTOR* is **NOT** required to provide cost estimates, quotations or comment on construction techniques and shall **NOT** advertise, or promote an individual contractor or person for any repairs, modifications, or improvements necessary.
10. The *INSPECTOR* is **NOT** required to dismantle any item or assembly to gain visible access, or move personal items, furniture, equipment, plant life, soil, ice or snow, insulation, or other debris, which obstructs access or visibility for the inspection. The Inspection Report shall identify by description (and photograph if possible) the obstruction that restricted visual inspection.
11. The *INSPECTOR* shall **NOT** perform any task, enter any area, or disturb any existing condition where, in the *INSPECTOR*'s judgment, damage could result, specialized safety equipment is required, or the safety of the *INSPECTOR* is endangered.
The Inspection Report will contain a description (and photograph where possible) to confirm the presence of these conditions.
12. The *INSPECTOR* shall **NOT** comment on any system that is mechanically or electrically disconnected, including any equipment that is in the off position or is otherwise not operational. The Inspection Report will provide a limited description (if possible) of the system condition that prevented inspection.
13. The *INSPECTOR* shall **NOT** accept compensation, financial or otherwise, from more than one interested party for the same service without the consent of all interested parties.
14. The *INSPECTOR* shall **NOT** directly or indirectly offer, advertise or promote any other professional services relating to the advertising, sale, appraisal, or lending, of the subject building or property.
15. The *INSPECTOR* shall provide the Client a copy of the Engagement Contract, the Standards of Inspection and the Scope of Inspection in adequate time to review and approval prior to the Inspection. The Inspector shall not begin the inspection until the Client has communicated approval of the document.
16. The Inspector shall retain a copy of the Engagement Contract, the Standards of Inspection and the Scope of Inspection for his records that has been signed and initialed by the Clients.

Initials



Part 3: Scope of Inspection

Special Limitations to Scope:

1. In the case of *MULTI-FAMILY DWELLINGS*, it is the Client's responsibility to arrange access to all building *COMMON AREAS* requiring inspection. The *INSPECTOR* will not inspect any secured *COMMON AREA(S)* unless permission has been granted and access provided by an authorized building representative (Property Manager, Caretaker, Council Member, etc.).
2. Any component not directly identified on the individual *INSPECTED UNIT* as part of title and is generally believed in the real estate industry, as being maintained by the *STRATA* is defined as part of the *COMMON AREA*. The inspection of *COMMON AREAS*
 - a) is limited to a cursory review of easily accessible *COMMON AREAS* appropriate in the circumstance and subject to any limitations; and
 - b) terms or conditions established by the recognized building representative. Identification of what is *UNIT ENTITLEMENT* and what is *COMMON AREA* is not the responsibility of the Inspector.

	An Inspector is REQUIRED to Inspect and Report on:	An Inspector is NOT REQUIRED to Inspection and Report on:
ROOFING		
SINGLE FAMILY	Roofing components and roof coverings Roof penetrations and flashings Roof drainage components, including gutters and downspouts Chimneys Report on any observed evidence of current/past water penetration and/or condensation	Accessories that do not make up part of the roof system, such as lightning arrestor systems, antennae, solar heating systems
MULTI-FAMILY/STRATA	As per single family dwellings except for those components located in <i>COMMON AREAS</i> outside of the <i>INSPECTED UNIT</i> <i>Offer comments only of a general nature based on a limited observation of accessible roofing components located in COMMON AREAS outside of the INSPECTED UNIT</i>	As per single family and; Roofing components (inc. chimneys) contained in a <i>COMMON AREA</i> not directly attributable to, and of sole use by the <i>INSPECTED UNIT</i> <i>Observe and report evidence of water penetration that is beyond the interior of the INSPECTED UNIT</i>
EXTERIOR		
SINGLE FAMILY	Exterior wall surfaces, eaves and trim Doors, windows and flashings Garages and carports All entrances such as porches, decks, balconies, including stairs, guards and railings <i>Observe and report on the impact of lot grading, landscaping, retaining walls, walkways, and driveways on the building.</i> <i>Test the operation of power operated garage door openers, including the stop and automatic - reverse function</i>	Seasonal accessories such as removable storm windows, storm doors, screens and shutters. Storage sheds, yard fencing, and other structures not related to the building Any items or facilities not directly related to the building structure, such as recreational rooms, swimming pools, saunas, hot tubs, tennis courts, etc. Ground and soil conditions

Initials



An Inspector is **REQUIRED** to Inspect and Report on:

An Inspector is **NOT REQUIRED** to Inspection and Report on:

ELECTRICAL

SINGLE FAMILY

Service entrance cable and location
Main service panel and auxiliary panels
Panel & Branch circuit over-current protection and system grounding
Branch circuit wiring
Amperage and voltage ratings of main service panel
Inspect inside panels with *readily accessible and removable panel covers designed for homeowner access*
Randomly select and operate a representative number of permanently installed light fixtures and outlets
Outlets noted above are to be checked for polarity and grounding
All exterior outlets and those within five feet of plumbing fixtures will be checked for polarity and grounding
Verify presence and test the operation of ground fault circuit interrupters and arc-fault breakers

Secondary wiring systems such as security systems, low voltage wiring, telephone wiring, cable television wiring, etc.
Insert or remove fuses, or operate circuit breakers
Provide or remove power for equipment

An Inspector is not to remove a circuit panel cover in the main or any auxiliary panels unless they have received permission from the owner to do so and have safely de-energized the system by means of the main breaker or are wearing appropriate personal protective equipment

MULTI-FAMILY/STRATA

As per single family dwellings except for those components located in *COMMON AREAS* outside of the *INSPECTED UNIT* and not including the testing of smoke detectors
Offer comments only of a general nature based on a limited observation of accessible electrical components located in COMMON AREAS outside of the INSPECTED UNIT

As per single family and;
Any Electrical component contained in a *COMMON AREA* not directly attributable to, and of sole use for the *INSPECTED UNIT*
Test the operation smoke detectors forming part of a fire suppression system subject to annual inspection and certification by others
Remove a circuit panel cover in the main or auxiliary panels where the *INSPECTED UNIT* does not contain a main breaker to safely de-energize the electrical system in the *INSPECTED UNIT*

Initials



An Inspector is **REQUIRED** to Inspect and Report on:

An Inspector is **NOT REQUIRED** to Inspection and Report on:

HEATING, MECHANICAL VENTILATION & COOLING SYSTEMS (PERMANENTLY INSTALLED)

SINGLE FAMILY

Heating and Cooling distribution systems, including where applicable fans, flue piping, vents, chimneys, dampers, pumps, supports, filters, ducts, piping, registers, radiators, and convectors
Heat Recovery Ventilators
The presence of manufacturer's built-in safety controls
The presence of heating source in each room.
Test systems using the thermostat or other similar standard operating controls
Operate the individual exhaust fan ventilation systems
Will recommend to Client to have any gas appliance present serviced by a licensed gas Contractor ASAP if documentation cannot be presented showing the unit has been serviced in the last calendar year

Portable heating units or cooling units such as window air conditioning units, portable humidifiers, and portable dehumidifiers
Buried or underground fuel storage tanks or piping
Ignite or extinguish pilot lights, change settings or conditions on equipment
Observe if the heat and air distribution in the building is balanced or adequate

MULTI-FAMILY/STRATA

As per single family dwellings except for those components located in *COMMON AREAS* outside of the *INSPECTED UNIT*
Offer comments only of a general nature based on a limited observation of accessible Heating and Cooling systems located in COMMON AREAS outside of the INSPECTED UNIT

As per single family and;
Any Heating & Cooling system component contained in a *COMMON AREA* not directly attributable to, and of sole use for the *INSPECTED UNIT*

PLUMBING

SINGLE FAMILY

Main water supply piping into dwelling and any distribution piping, pipe supports, and any leaks in above piping systems
Fixtures, faucets, and isolating valves
Drain, waste and vent piping, pipe supports and insulation
Hot Water heaters, including if present, fuel supply piping, flue piping, vents, chimneys, and verify the presence of required safety devices
Interior sumps and pumps

Any item or facilities not directly related to the plumbing such as swimming pools, saunas, hot tubs, solar systems, etc.
Any Water-treatment devices
Automatic air vents
Foundation drainage system and yard piping.
Irrigation or fire sprinkler systems
Observe the quantity and quality of water supply, and whether public or private
Observe outdoor waste disposal systems located on the property or determine whether public or private

Initials



	An Inspector is REQUIRED to Inspect and Report on:	An Inspector is NOT REQUIRED to Inspection and Report on:
	<p>PLUMBING CONTINUED: <i>Water volume and pressure should be tested by opening the faucets to obtain a reasonable flow of one or more fixtures simultaneously, and at various locations in the dwelling</i> <i>Water drainage should be tested by draining one or more fixtures simultaneously, and at various locations in the dwelling</i> Observe and report on the presence of cross-connections that could contaminate the potable water.</p>	<p><i>Operate any valve other than those used on a regular or daily basis by an /the occupant</i> <i>Ignite or extinguish pilot lights, change settings, or conditions on equipment</i></p>
MULTI-FAMILY/STRATA	<p>As per single family dwellings except for those components located in <i>COMMON AREAS</i> outside of the <i>INSPECTED UNIT</i> <i>Offer comments only of a general nature based on a limited observation of accessible Plumbing components located in COMMON AREAS outside of the INSPECTED UNIT</i></p>	<p>As per single family and; Any Plumbing component contained in a <i>COMMON AREA</i> not directly attributable to, and of sole use for the <i>INSPECTED UNIT</i></p>
INTERIOR		
SINGLE FAMILY	<p>Floors, walls, ceilings, and trims Fire separating walls and party walls Stairs, guards, and railings Solid fuel burning appliances, including fireplaces and wood stoves <i>Observe and report on the presence of smoke/heat/CO detectors and/or fire sprinklers</i> <i>Observe the condition of permanently installed counters and cabinets</i> <i>Randomly select and operate, where reasonably accessible, a representative number of doors and windows</i> <i>Observe and report on any evidence of water penetration and condensation</i></p>	<p>Treatments such as paint, wallpaper, carpeting, blinds, drapes, and other similar treatments Kitchen, bathroom, and laundry appliances <i>Ignite or extinguish fires</i> <i>Observe fireplace insert installation</i> Also see Exterior excluded seasonal accessories and excluded accessory buildings</p>
MULTI-FAMILY/STRATA	<p>As per single family dwellings except for those components located in <i>COMMON AREAS</i> outside of the <i>INSPECTED UNIT</i> and not including the testing of smoke & heat detectors <i>Offer comments only of a general nature based on a limited observation of accessible Interior components located in COMMON AREAS outside of the INSPECTED UNIT</i></p>	<p>As per single family and; Any Interior component contained in a <i>COMMON AREA</i> not directly attributable to, and of sole use for the <i>INSPECTED UNIT</i> Test the operation of smoke/heat/CO detectors and/or fire sprinklers</p>

Initials